



Premise

URBAN LAND DEVELOPMENTS

32 BURMA ROAD, TOCUMWAL

INFRASTRUCTURE REPORT

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METHODOLOGY

The service authorities and Berrigan Shire council have been contacted and their services to the proposed development area have been investigated. Existing & proposed services are included in the plans provided with this application.

➤ 1. WATER

Responsible Authority: Berrigan Shire Council

There is a 150mm diameter water main and a filtered main running along the Northern and Eastern side of the proposed development and a water tower is located on the western side of the proposed development approximately 900 meters away on Hutsons Road, please refer to the below figure 2 of the water network provided by the Berrigan Shire council. From the preliminary assessment these existing water mains can be used to service this subdivision which will be confirmed once the final design has been completed and submitted for approval.

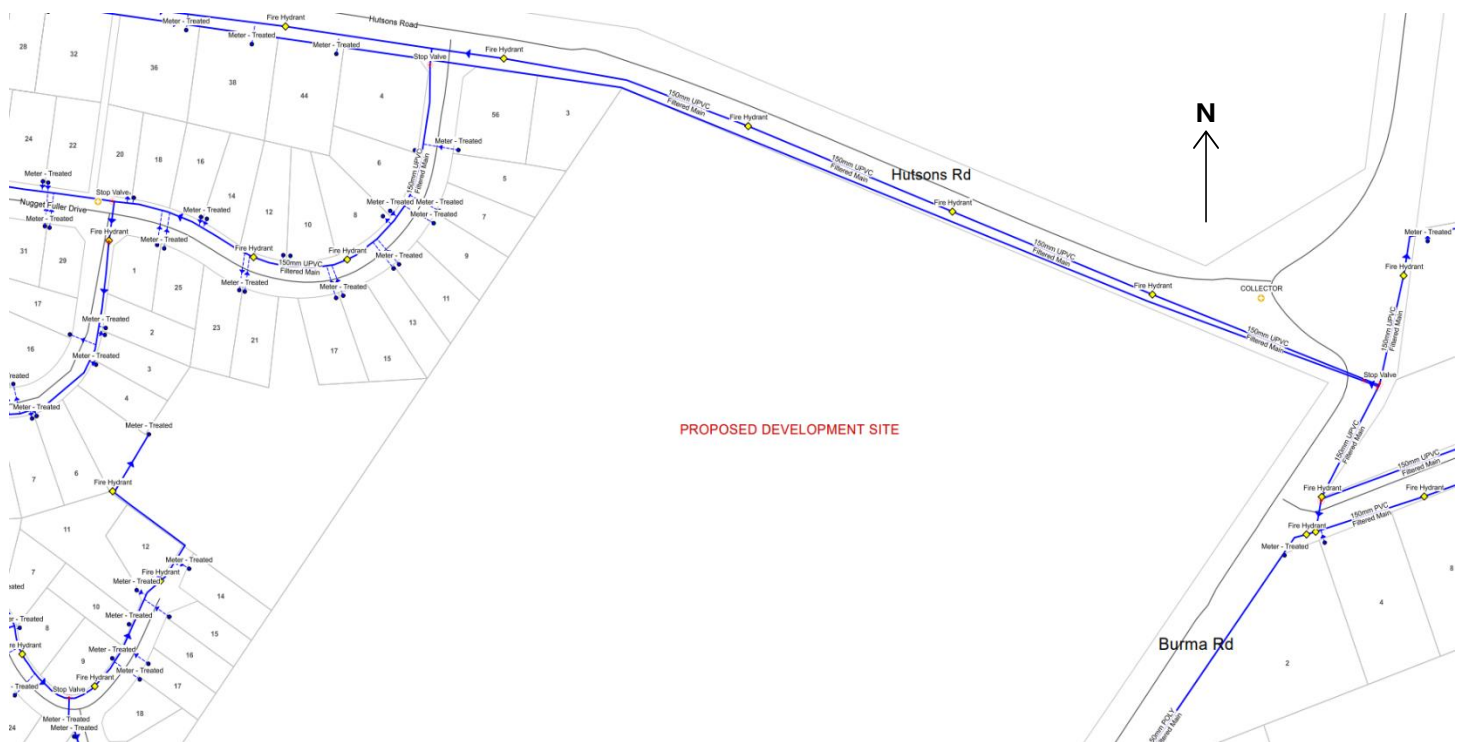


Figure 2 Existing 150mm diameter Water main and filtered main on North and West side of the lot.

➤ **2. STORMWATER**

Responsible Authority: Berrigan Shire Council

There is an existing water way running on the south side of the lot which can be used to discharge the post developed stormwater flow. In addition to this, swale drains are present on the northern and eastern side of the proposed development along with 2 proposed drainage reserves for water detention and a gross pollutant trap (GPT) to treat overland flows and sediment control. A detailed study has been undertaken by AFFLUX Consulting to determine a drainage concept design which has the least impact on the existing vegetation and can enhance the flood safety for the proposed subdivision. A detailed stormwater management plan has been submitted along with this report.

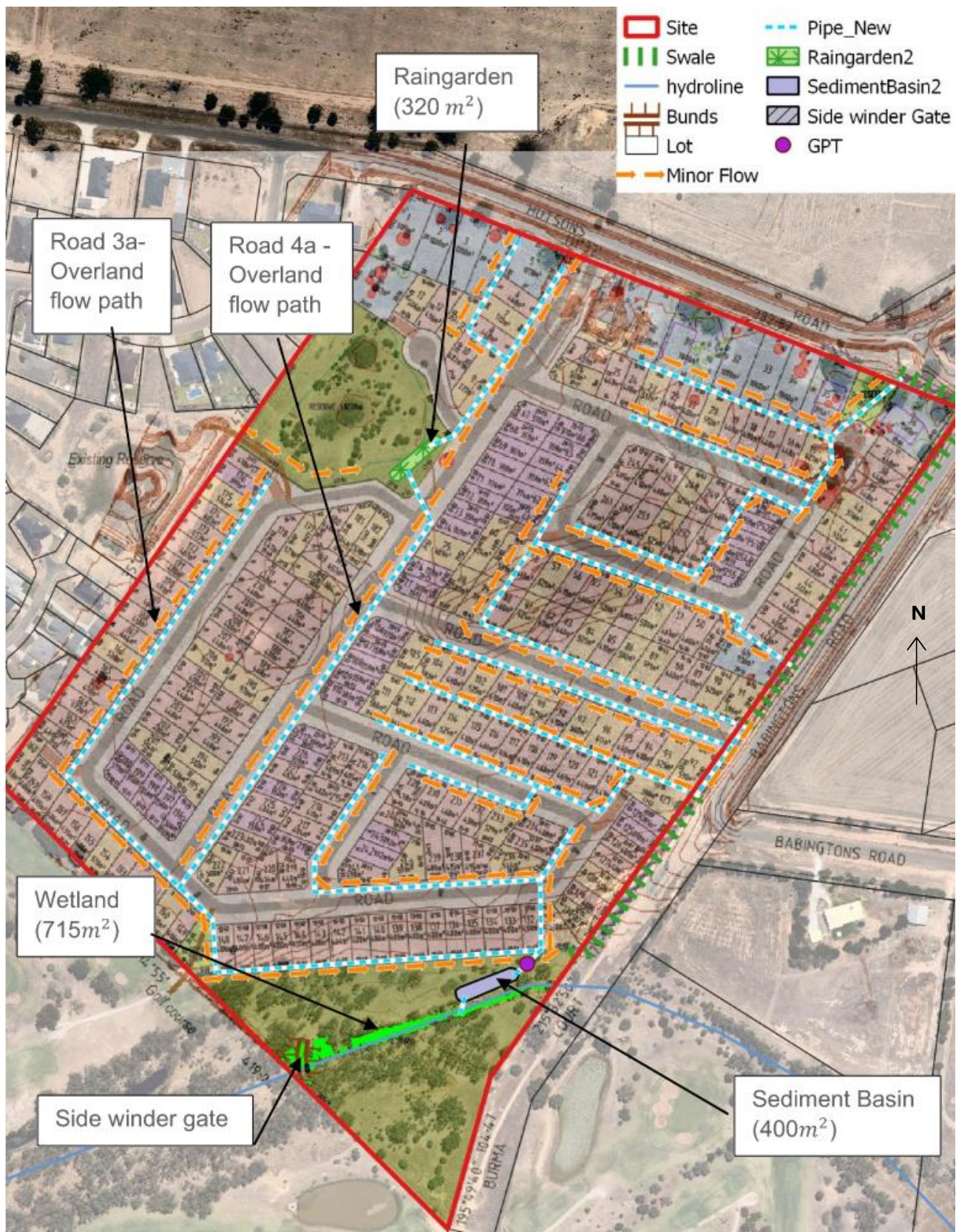


Figure 3 Proposed Drainage Concept Design

➤ 3. GAS

Responsible Authority: APA Gas

There is an existing high pressure gas main running along the Hutsons road and Burma Road as shown in figure 4, which can be used to service this proposed subdivision. The gas main location has been determined by conducting a dial before your dig search on 19/09/2023.

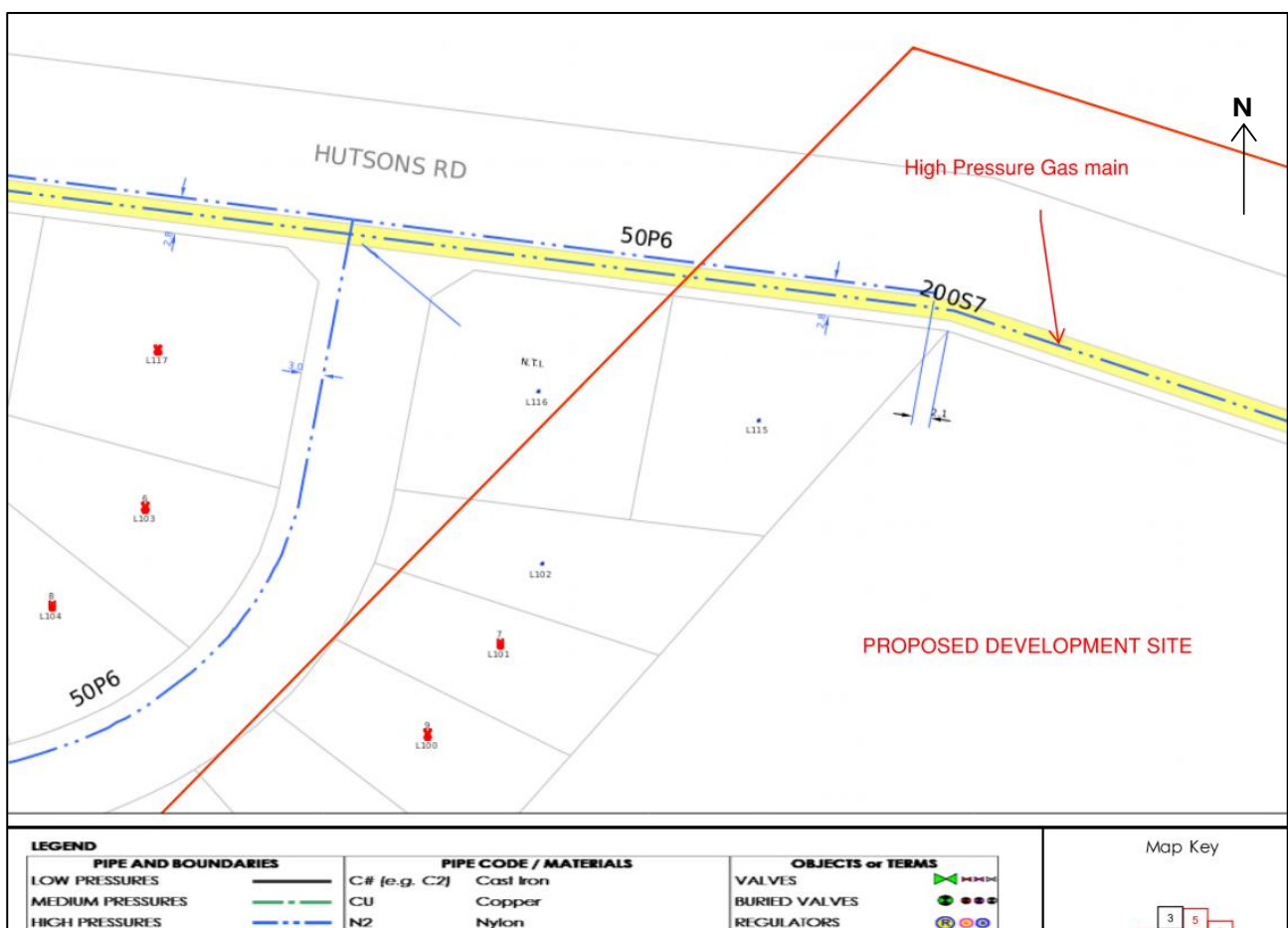


Figure 4 Location of existing high-pressure gas main

➤ 4. SEWER

Responsible Authority: Berrigan Shire Council

There is an existing sewer pumpstation in the subdivision west of the proposed development site which discharges into a manhole west of the existing pumpstation and council has restricted discharge to this point. Please refer to figure 5.

As per our preliminary assessment a new sewer pumpstation and rising main will need to be installed and discharge into the manhole on Hutsons Road, which has a 225mm dia sewer gravity main running through it and then changes to 300mm dia sewer main leading to the treatment plant.

Council has advised that the 300mm dia gravity main has been previously repaired and lined and is at its capacity. Further assessments and discussions will be held with council at the time of detailed design to consider ways to increase the capacity by programming of pump stations or by augmenting the pipe network for this subdivision and the current network.



Figure 5 Location of existing council sewer assets.

➤ 5. ELECTRICITY

Responsible Authority: Essential Energy

There are existing high voltage overhead powerlines running along Burma Road on the eastern side of the proposed development which will be used to service this subdivision as shown in figure 6. An electrical substation will be installed to provide electricity to all proposed lots and the proposed sewer pump station. The existing electrical asset's location has been determined by conducting a dial before you dig search on 19/09/2023.

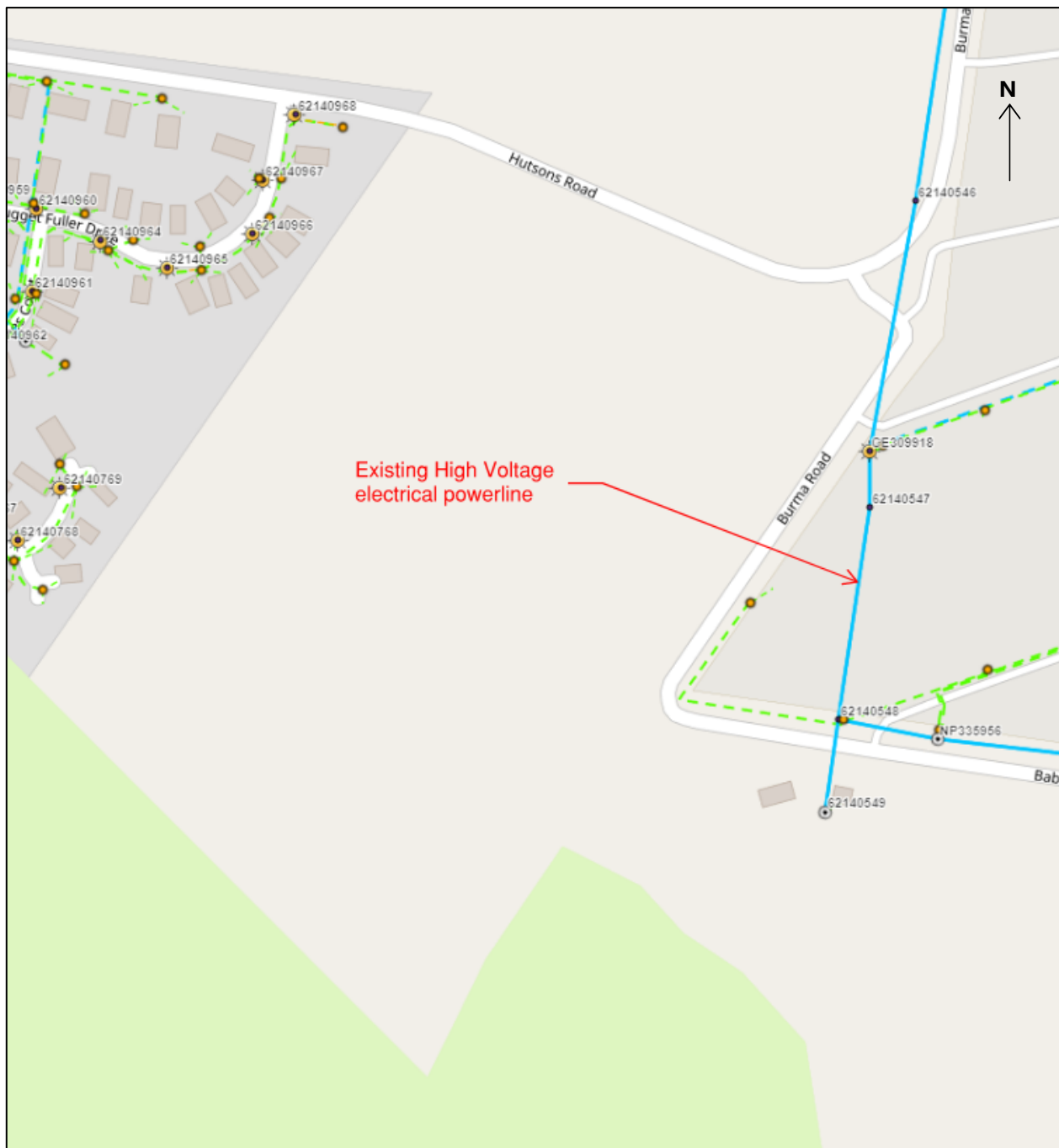


Figure 6 Location of existing powerlines.

➤ 6. TELECOMMUNICATION

Responsible Authority: NBN

This proposed development can be serviced via the existing nbn Fixed Wireless satellite service. In addition to that there is NBN and Telstra infrastructure present along Hutsons road and Burma Road. Please refer to figure 7.

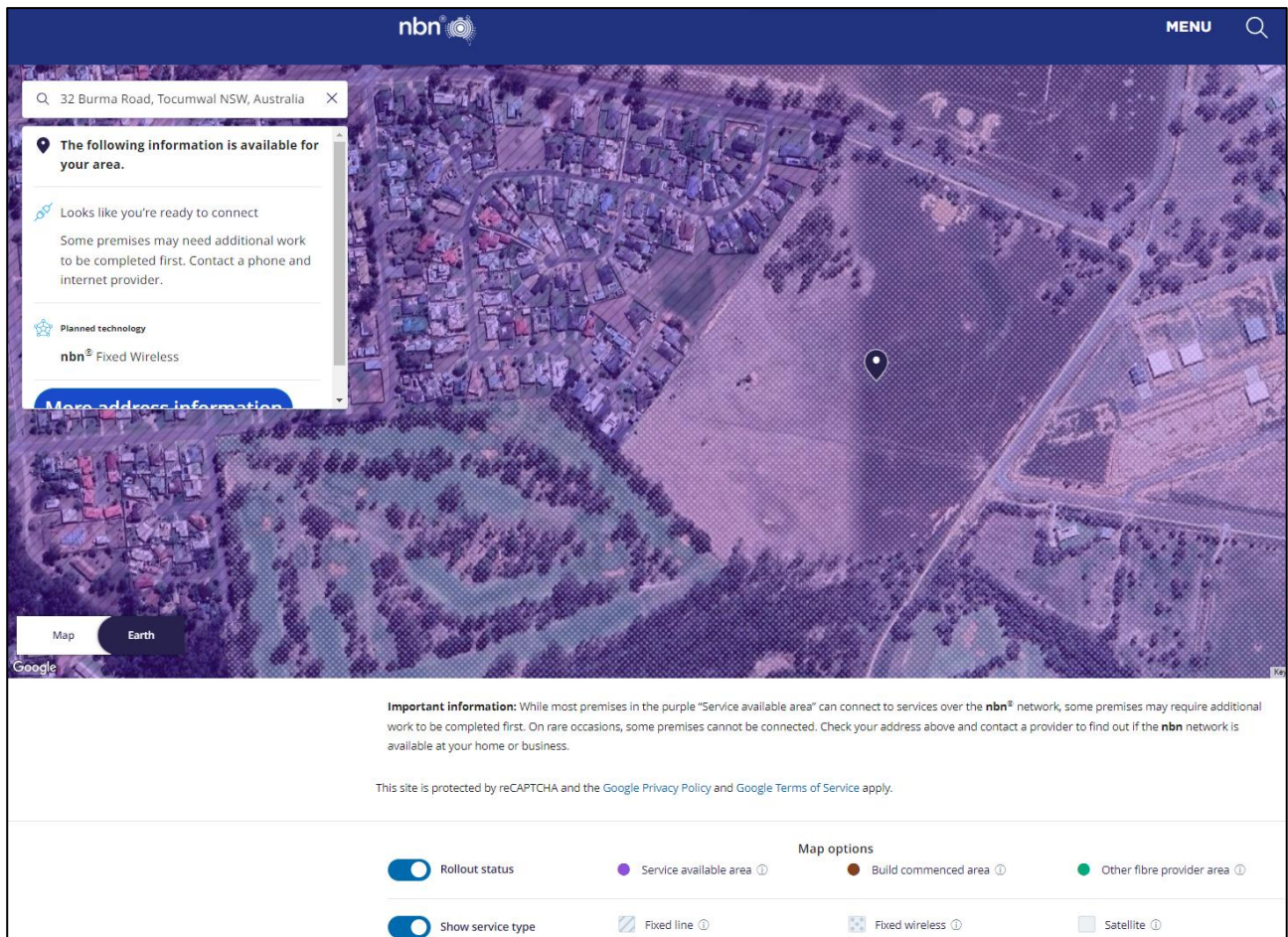


Figure 7 NBN fixed wireless map.